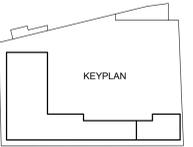


AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description
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**DEMOLITION PLAN -
LEVEL 00**

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING LEGEND

- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE).
- WALL TO BE REMOVED.
- DOOR AND HARDWARE TO BE REMOVED.

DEMOLITION NOTES

1. DEMOLITION WORK INDICATED ON THESE DRAWINGS SHALL NOT EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED.
2. IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT OWNER, ARCHITECT, AND/OR CONSTRUCTION MANAGER.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METHODS OF STABILIZATION OF THE EXISTING STRUCTURE DURING DEMOLITION AND NEW CONSTRUCTION, INCLUDING ADDITIONAL BRACING NOT INDICATED IN THE DRAWINGS AS REQUIRED BY CONDITIONS IN THE FIELD.
4. REFER TO STRUCTURE, MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION DRAWINGS FOR DEMOLITION SCOPE OF WORK.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OR PLACEMENT OF BARRIERS AS NECESSARY TO PREVENT ACCESS TO OR ACCIDENTAL TRESPASS INTO AREAS OF THE EXISTING BUILDING DURING THE CONSTRUCTION PROCESS.
6. DISPOSE OF ALL MATERIALS TO BE REMOVED OFFSITE IN A MANNER APPROPRIATE TO THAT MATERIAL. OWNER HAS THE FIRST RIGHT OF REFUSAL FOR ALL ITEMS TO BE DEMOLISHED.
7. EXISTING WALLS OR PORTIONS OF WALLS TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN.
8. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
9. DOORS NOT TAGGED TO REMAIN, U.N.O.

DEMOLITION KEY NOTES

- 1 REMOVE DOOR, HARDWARE, FRAME, CLOSER, HINGES, AND DOOR SIGNAGE. CATALOG AND ARCHIVE MATERIALS.
- 2 CONFIRM DEMOLITION EXTENTS WITH BUILDING OWNER BEFORE PROCEEDING AT THESE LOCATIONS.
- 3 REMOVE PLUMBING FIXTURES, TOILET STALLS, AND COUNTERTOPS TO EXTENTS SHOWN ON DRAWINGS.
- 4 REMOVE EXISTING FLOORING AS INDICATED ON DRAWINGS. PREPARE EXISTING FLOOR FOR NEW FLOORING.
- 5 PREPARE LIGHT WELL TO BE FILLED
- 6 DEMO CONCRETE SLAB AND/OR FOUNDATION FOR ELEVATOR.
- 7 PATCH HOLES IN FLOOR AND PREPARE SUB SURFACE FOR NEW FLOOR FINISH
- 8 PREP ROOF PLUMBING FOR MODIFICATIONS.
- 9 REMOVE TILE AND PREPARE WALLS FOR NEW FINISH.
- 10 DEMO RAISED CONCRETE FLOOR/RESURFACE EXISTING FLOOR AND CAP PLUMBING LINES.
- 11 REMOVE DOOR HARDWARE. PREPARE OPENING FOR NEW ACOUSTICAL TREATMENT.
- 12 REMOVE WINDOW. REMOVE WALL PARTITION, ELECTRICAL OUTLETS, THERMOSTATS, ETC. TO PREPARE FOR NEW DOOR.
- 13 REMOVE DOOR, HARDWARE. PREPARE FOR CASSED OPENING.
- 14 REMOVE PARAPET TO LEVEL OF EXISTING ROOF. REFER TO STRUCTURE DWGS.
- 15 REMOVE WALL, PATCH AND PREPARE AREA FOR NEW WORK.
- 16 REMOVE STAIR RUN AND ASSOCIATED LANDING.
- 17 RELOCATE MECHANICAL EQUIPMENT AND ASSOCIATED DUCTS TO MECHANICAL DEMO PLANS.
- 18 REMOVE EXISTING AHU AND PREPARE AREA TO RECEIVE NEW AHU. COORDINATE SEQUENCE WITH BUILDING OPERATIONS. REFER TO MECHANICAL PLANS
- 19 PREP OPENING FOR NEW DOORS.
- 20 PREPARE AREA FOR NEW CONSTRUCTION. CONFIRM SCOPE OF WORK WITH OWNER & ARCHITECT BEFORE PROCEEDING.
- 21 REMOVE EXISTING ELEVATORS. PREPARE ELEVATOR SHAFT FOR NEW CABS, EQUIPMENT, ETC. PENDING ASSESSMENT
- 22 REMOVE ROOFING MATERIALS DOWN TO STRUCTURE. CAP ROOF DRAINS FLUSH WITH FLOOR.
- 23 REMOVE ROOFING AND ROOF STRUCTURE FOR NEW OPENING.
- 24 REFER TO MEP DEMO PLANS FOR PIPING/DUCTS/UNIT RELOCATION AT THIS LOCATION.
- 25 PREPARE STAIR FOR EXTENSION TO ROOFTOP



203 E. Jones Ave., Suite 104
San Antonio, Texas 78215
TEL (210) 829-7003

Structural Engineer
Lundy & Franke Engineering Inc.
549 Heimer Rd.
San Antonio, TX 78222
TEL (210) 979-7900

Mechanical, Electrical, and Plumbing Engineer
DBR
9601 McAllister Fwy #410
San Antonio, TX 78216
TEL (210) 546-0200

Code Consultant
Fire Protection Consulting Group
338 Sandalwood Lane
San Antonio, TX 78216
TEL (210) 858-2389

Interior Design
Duncan & Miller
1203 Dragon Street
Dallas, TX 75207
TEL (214) 748-9944

Historic Preservation Architect
Seventh Generation Design Inc.
933 North Flores Street, Suite B,
San Antonio, TX 78212
TEL (210) 973.7307

Kitchen & Bar Consultant
The Kitchen Guys
7713 Islander Drive
Austin, TX 78749
TEL (512) 998-9100

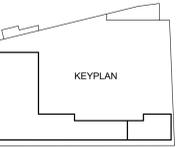
Acoustics
BAI LLC
4006 Speedway
Austin, TX 78751
TEL (512) 476-3464

AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description



DEMOLITION PLAN - LEVEL 01

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING LEGEND

- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE).
- WALL TO BE REMOVED.
- DOOR AND HARDWARE TO BE REMOVED.

DEMOLITION NOTES

1. DEMOLITION WORK INDICATED ON THESE DRAWINGS SHALL NOT EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED.
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8. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
9. DOORS NOT TAGGED TO REMAIN, U.N.O.

DEMOLITION KEY NOTES

- 1 REMOVE DOOR, HARDWARE, FRAME, CLOSER, HINGES, AND DOOR SIGNAGE. CATALOG AND ARCHIVE MATERIALS.
- 2 CONFIRM DEMOLITION EXTENTS WITH BUILDING OWNER BEFORE PROCEEDING AT THESE LOCATIONS.
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- 10 DEMO RAISED CONCRETE FLOOR/RESURFACE EXISTING FLOOR AND CAP PLUMBING LINES.
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- 25 PREPARE STAIR FOR EXTENSION TO ROOFTOP



01 STREET LEVEL EXISTING
1/8" = 1'-0"

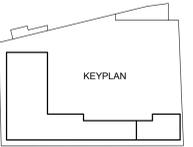
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AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description
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DEMOLITION PLAN - LEVEL 02

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING LEGEND

- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE).
- WALL TO BE REMOVED.
- DOOR AND HARDWARE TO BE REMOVED.

DEMOLITION NOTES

1. DEMOLITION WORK INDICATED ON THESE DRAWINGS SHALL NOT EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED.
2. IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT OWNER, ARCHITECT, AND/OR CONSTRUCTION MANAGER.
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9. DOORS NOT TAGGED TO REMAIN, U.N.O.

DEMOLITION KEY NOTES

- 1 REMOVE DOOR, HARDWARE, FRAME, CLOSER, HINGES, AND DOOR SIGNAGE. CATALOG AND ARCHIVE MATERIALS.
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- 25 PREPARE STAIR FOR EXTENSION TO ROOFTOP

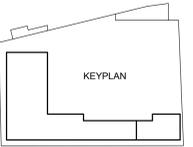


AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description



DEMOLITION PLAN - LEVEL 03

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING LEGEND

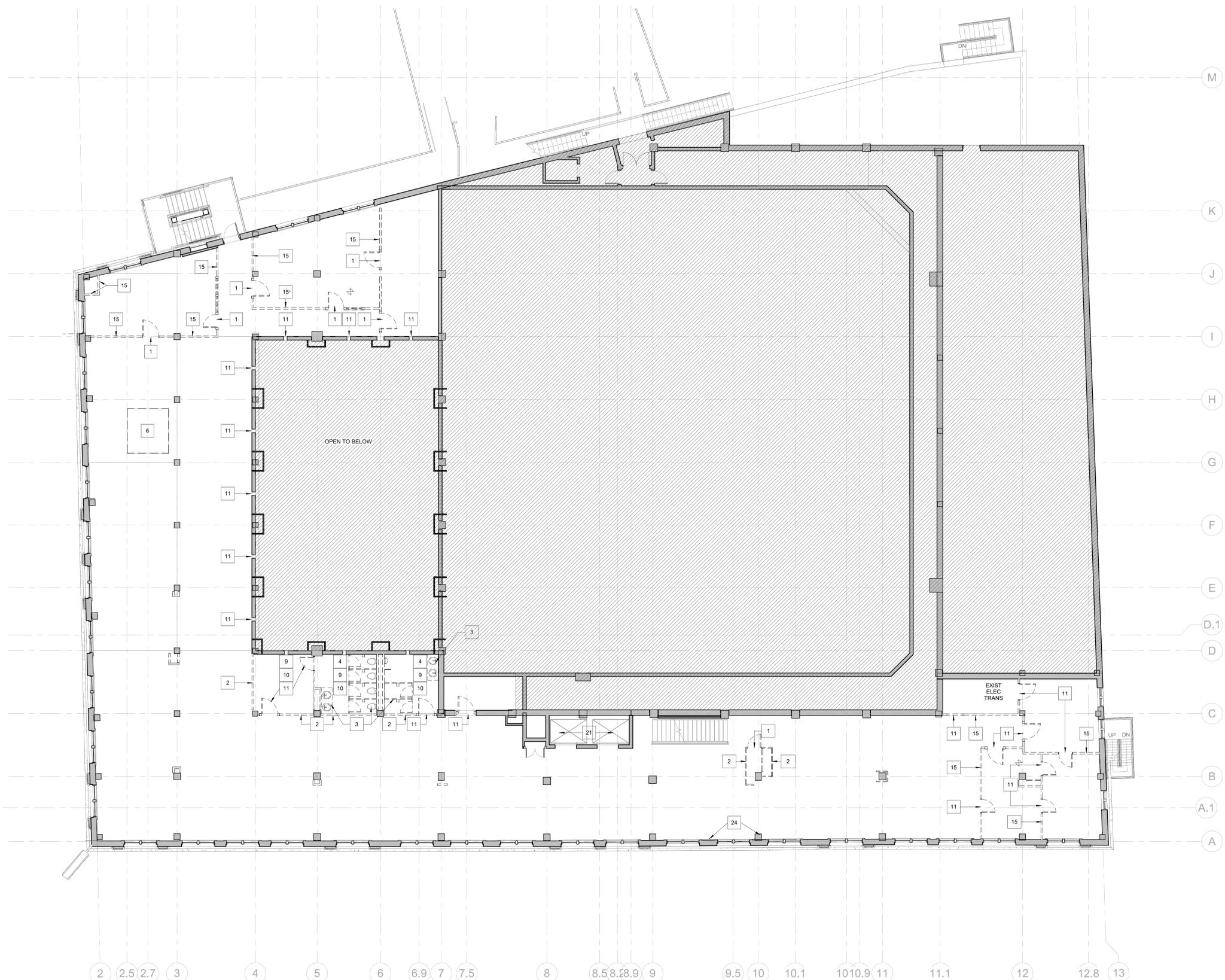
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- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE)
- WALL TO BE REMOVED.
- DOOR AND HARDWARE TO BE REMOVED.

DEMOLITION NOTES

1. DEMOLITION WORK INDICATED ON THESE DRAWINGS SHALL NOT EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED.
2. IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT OWNER, ARCHITECT, AND/OR CONSTRUCTION MANAGER.
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DEMOLITION KEY NOTES

- 1 REMOVE DOOR, HARDWARE, FRAME, CLOSER, HINGES, AND DOOR SIGNAGE. CATALOG AND ARCHIVE MATERIALS.
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- 3 REMOVE PLUMBING FIXTURES, TOILET STALLS, AND COUNTERTOPS TO EXTENTS SHOWN ON DRAWINGS.
- 4 REMOVE EXISTING FLOORING AS INDICATED ON DRAWINGS. PREPARE EXISTING FLOOR FOR NEW FLOORING.
- 5 PREPARE LIGHT WELL TO BE FILLED
- 6 DEMO CONCRETE SLAB AND/OR FOUNDATION FOR ELEVATOR.
- 7 PATCH HOLES IN FLOOR AND PREPARE SUB SURFACE FOR NEW FLOOR FINISH
- 8 PREP ROOF PLUMBING FOR MODIFICATIONS.
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- 12 REMOVE WINDOW. REMOVE WALL PARTITION, ELECTRICAL OUTLETS, THERMOSTATS, ETC. TO PREPARE FOR NEW DOOR.
- 13 REMOVE DOOR, HARDWARE. PREPARE FOR CASED OPENING.
- 14 REMOVE PARAPET TO LEVEL OF EXISTING ROOF. REFER TO STRUCTURE DWGS.
- 15 REMOVE WALL, PATCH AND PREPARE AREA FOR NEW WORK.
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- 25 PREPARE STAIR FOR EXTENSION TO ROOFTOP



1 LEVEL 03_EXISTING
1/8" = 1'-0"

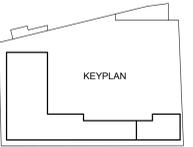
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AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description
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**DEMOLITION PLAN -
LEVEL 04**

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING LEGEND

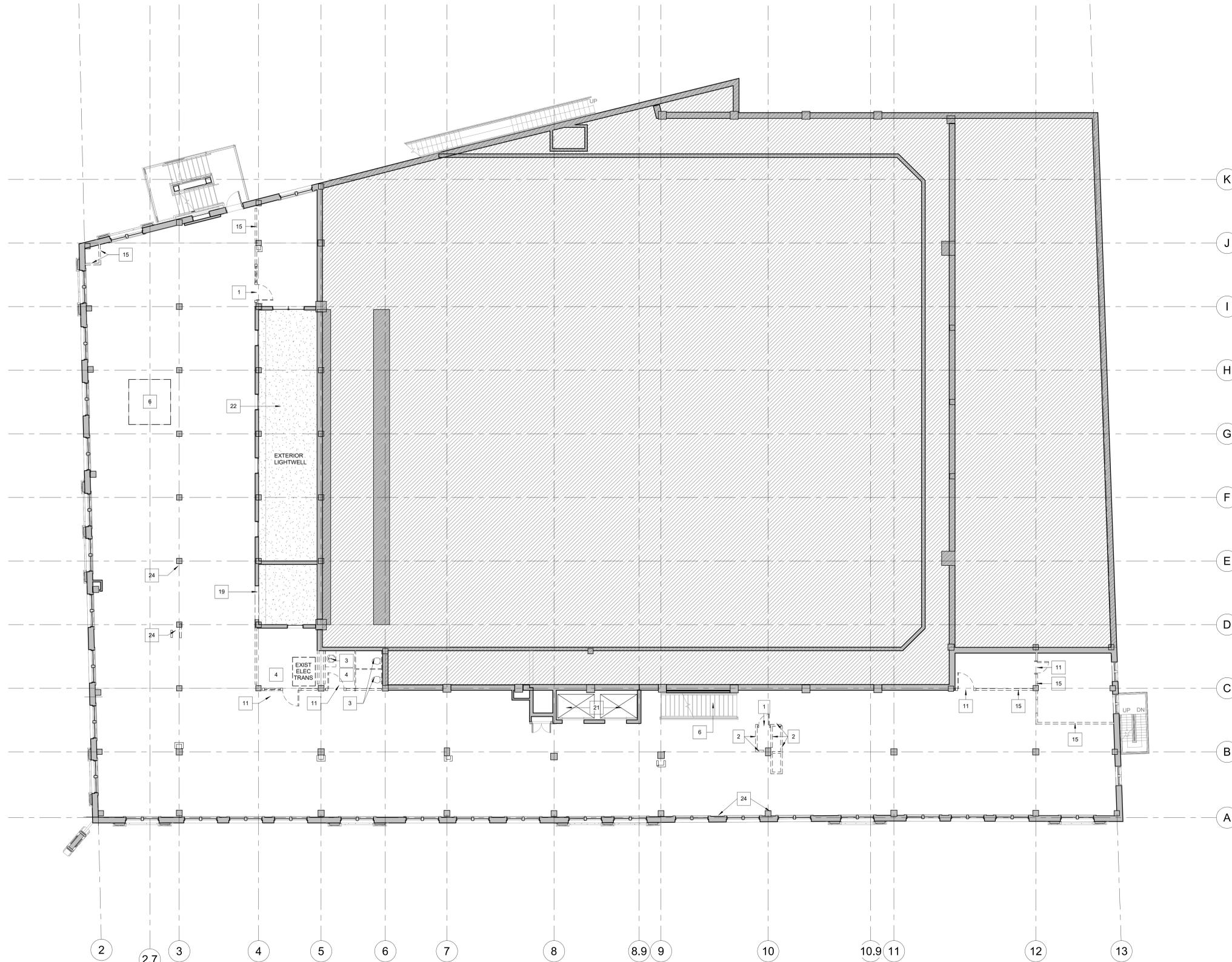
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- WALL TO BE REMOVED.
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DEMOLITION NOTES

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DEMOLITION KEY NOTES

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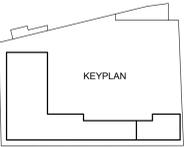
01 LEVEL 4 EXISTING
1/8" = 1'-0"

AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description
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**DEMOLITION PLAN -
LEVEL 05**

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING LEGEND

- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE).
- WALL TO BE REMOVED.
- DOOR AND HARDWARE TO BE REMOVED.

DEMOLITION NOTES

1. DEMOLITION WORK INDICATED ON THESE DRAWINGS SHALL NOT EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED.
2. IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT OWNER, ARCHITECT, AND/OR CONSTRUCTION MANAGER.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METHODS OF STABILIZATION OF THE EXISTING STRUCTURE DURING DEMOLITION AND NEW CONSTRUCTION, INCLUDING ADDITIONAL BRACING NOT INDICATED IN THE DRAWINGS AS REQUIRED BY CONDITIONS IN THE FIELD.
4. REFER TO STRUCTURE, MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION DRAWINGS FOR DEMOLITION SCOPE OF WORK.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OR PLACEMENT OF BARRIERS AS NECESSARY TO PREVENT ACCESS TO OR ACCIDENTAL TRESPASS INTO AREAS OF THE EXISTING BUILDING DURING THE CONSTRUCTION PROCESS.
6. DISPOSE OF ALL MATERIALS TO BE REMOVED OFFSITE IN A MANNER APPROPRIATE TO THAT MATERIAL. OWNER HAS THE FIRST RIGHT OF REFUSAL FOR ALL ITEMS TO BE DEMOLISHED.
7. EXISTING WALLS OR PORTIONS OF WALLS TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN.
8. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
9. DOORS NOT TAGGED TO REMAIN, U.N.O.

DEMOLITION KEY NOTES

- 1 REMOVE DOOR, HARDWARE, FRAME, CLOSER, HINGES, AND DOOR SIGNAGE. CATALOG AND ARCHIVE MATERIALS.
- 2 CONFIRM DEMOLITION EXTENTS WITH BUILDING OWNER BEFORE PROCEEDING AT THESE LOCATIONS.
- 3 REMOVE PLUMBING FIXTURES, TOILET STALLS, AND COUNTERTOPS TO EXTENTS SHOWN ON DRAWINGS.
- 4 REMOVE EXISTING FLOORING AS INDICATED ON DRAWINGS. PREPARE EXISTING FLOOR FOR NEW FLOORING.
- 5 PREPARE LIGHT WELL TO BE FILLED
- 6 DEMO CONCRETE SLAB AND/OR FOUNDATION FOR ELEVATOR.
- 7 PATCH HOLES IN FLOOR AND PREPARE SUB SURFACE FOR NEW FLOOR FINISH
- 8 PREP ROOF PLUMBING FOR MODIFICATIONS.
- 9 REMOVE TILE AND PREPARE WALLS FOR NEW FINISH.
- 10 DEMO RAISED CONCRETE FLOOR/RESURFACE EXISTING FLOOR AND CAP PLUMBING LINES.
- 11 REMOVE DOOR HARDWARE. PREPARE OPENING FOR NEW ACOUSTICAL TREATMENT.
- 12 REMOVE WINDOW. REMOVE WALL PARTITION, ELECTRICAL OUTLETS, THERMOSTATS, ETC. TO PREPARE FOR NEW DOOR.
- 13 REMOVE DOOR, HARDWARE. PREPARE FOR CASSED OPENING.
- 14 REMOVE PARAPET TO LEVEL OF EXISTING ROOF. REFER TO STRUCTURE DWGS.
- 15 REMOVE WALL, PATCH AND PREPARE AREA FOR NEW WORK.
- 16 REMOVE STAIR RUN AND ASSOCIATED LANDING.
- 17 RELOCATE MECHANICAL EQUIPMENT AND ASSOCIATED DUCTS TO MECHANICAL DEMO PLANS.
- 18 REMOVE EXISTING AHU AND PREPARE AREA TO RECEIVE NEW AHU. COORDINATE SEQUENCE WITH BUILDING OPERATIONS. REFER TO MECHANICAL PLANS
- 19 PREP OPENING FOR NEW DOORS.
- 20 PREPARE AREA FOR NEW CONSTRUCTION. CONFIRM SCOPE OF WORK WITH OWNER & ARCHITECT BEFORE PROCEEDING.
- 21 REMOVE EXISTING ELEVATORS. PREPARE ELEVATOR SHAFT FOR NEW CABS, EQUIPMENT, ETC. PENDING ASSESSMENT
- 22 REMOVE ROOFING MATERIALS DOWN TO STRUCTURE. CAP ROOF DRAINS FLUSH WITH FLOOR.
- 23 REMOVE ROOFING AND ROOF STRUCTURE FOR NEW OPENING.
- 24 REFER TO MEP DEMO PLANS FOR PIPING/DUCTS/UNIT RELOCATION AT THIS LOCATION.
- 25 PREPARE STAIR FOR EXTENSION TO ROOFTOP



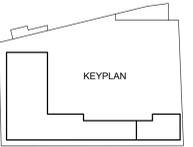
01 LEVEL 05_EXISTING
1/8" = 1'-0"

AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description
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**DEMOLITION PLAN -
LEVEL 06**

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING LEGEND

- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE)
- WALL TO BE REMOVED.
- DOOR AND HARDWARE TO BE REMOVED.

DEMOLITION NOTES

1. DEMOLITION WORK INDICATED ON THESE DRAWINGS SHALL NOT EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED.
2. IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT OWNER, ARCHITECT, AND/OR CONSTRUCTION MANAGER.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METHODS OF STABILIZATION OF THE EXISTING STRUCTURE DURING DEMOLITION AND NEW CONSTRUCTION, INCLUDING ADDITIONAL BRACING NOT INDICATED IN THE DRAWINGS AS REQUIRED BY CONDITIONS IN THE FIELD.
4. REFER TO STRUCTURE, MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION DRAWINGS FOR DEMOLITION SCOPE OF WORK.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OR PLACEMENT OF BARRIERS AS NECESSARY TO PREVENT ACCESS TO OR ACCIDENTAL TRESPASS INTO AREAS OF THE EXISTING BUILDING DURING THE CONSTRUCTION PROCESS.
6. DISPOSE OF ALL MATERIALS TO BE REMOVED OFFSITE IN A MANNER APPROPRIATE TO THAT MATERIAL. OWNER HAS THE FIRST RIGHT OF REFUSAL FOR ALL ITEMS TO BE DEMOLISHED.
7. EXISTING WALLS OR PORTIONS OF WALLS TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN.
8. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF WALL UNLESS NOTED OTHERWISE
9. DOORS NOT TAGGED TO REMAIN, U.N.O.

DEMOLITION KEY NOTES

- 1 REMOVE DOOR, HARDWARE, FRAME, CLOSER, HINGES, AND DOOR SIGNAGE. CATALOG AND ARCHIVE MATERIALS.
- 2 CONFIRM DEMOLITION EXTENTS WITH BUILDING OWNER BEFORE PROCEEDING AT THESE LOCATIONS.
- 3 REMOVE PLUMBING FIXTURES, TOILET STALLS, AND COUNTERTOPS TO EXTENTS SHOWN ON DRAWINGS.
- 4 REMOVE EXISTING FLOORING AS INDICATED ON DRAWINGS. PREPARE EXISTING FLOOR FOR NEW FLOORING.
- 5 PREPARE LIGHT WELL TO BE FILLED
- 6 DEMO CONCRETE SLAB AND/OR FOUNDATION FOR ELEVATOR.
- 7 PATCH HOLES IN FLOOR AND PREPARE SUB SURFACE FOR NEW FLOOR FINISH
- 8 PREP ROOF PLUMBING FOR MODIFICATIONS.
- 9 REMOVE TILE AND PREPARE WALLS FOR NEW FINISH.
- 10 DEMO RAISED CONCRETE FLOOR/RESURFACE EXISTING FLOOR AND CAP PLUMBING LINES.
- 11 REMOVE DOOR HARDWARE. PREPARE OPENING FOR NEW ACOUSTICAL TREATMENT.
- 12 REMOVE WINDOW. REMOVE WALL PARTITION, ELECTRICAL OUTLETS, THERMOSTATS, ETC. TO PREPARE FOR NEW DOOR.
- 13 REMOVE DOOR, HARDWARE. PREPARE FOR CASSED OPENING.
- 14 REMOVE PARAPET TO LEVEL OF EXISTING ROOF. REFER TO STRUCTURE DWGS.
- 15 REMOVE WALL, PATCH AND PREPARE AREA FOR NEW WORK.
- 16 REMOVE STAIR RUN AND ASSOCIATED LANDING.
- 17 RELOCATE MECHANICAL EQUIPMENT AND ASSOCIATED DUCTS TO MECHANICAL DEMO PLANS.
- 18 REMOVE EXISTING AHU AND PREPARE AREA TO RECEIVE NEW AHU. COORDINATE SEQUENCE WITH BUILDING OPERATIONS. REFER TO MECHANICAL PLANS
- 19 PREP OPENING FOR NEW DOORS.
- 20 PREPARE AREA FOR NEW CONSTRUCTION. CONFIRM SCOPE OF WORK WITH OWNER & ARCHITECT BEFORE PROCEEDING.
- 21 REMOVE EXISTING ELEVATORS. PREPARE ELEVATOR SHAFT FOR NEW CABS, EQUIPMENT, ETC. PENDING ASSESSMENT
- 22 REMOVE ROOFING MATERIALS DOWN TO STRUCTURE. CAP ROOF DRAINS FLUSH WITH FLOOR.
- 23 REMOVE ROOFING AND ROOF STRUCTURE FOR NEW OPENING.
- 24 REFER TO MEP DEMO PLANS FOR PIPING/DUCTS/UNIT RELOCATION AT THIS LOCATION.
- 25 PREPARE STAIR FOR EXTENSION TO ROOFTOP

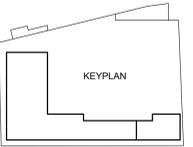


AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description



DEMOLITION PLAN - ROOF

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	RW

GENERAL DRAWING LEGEND

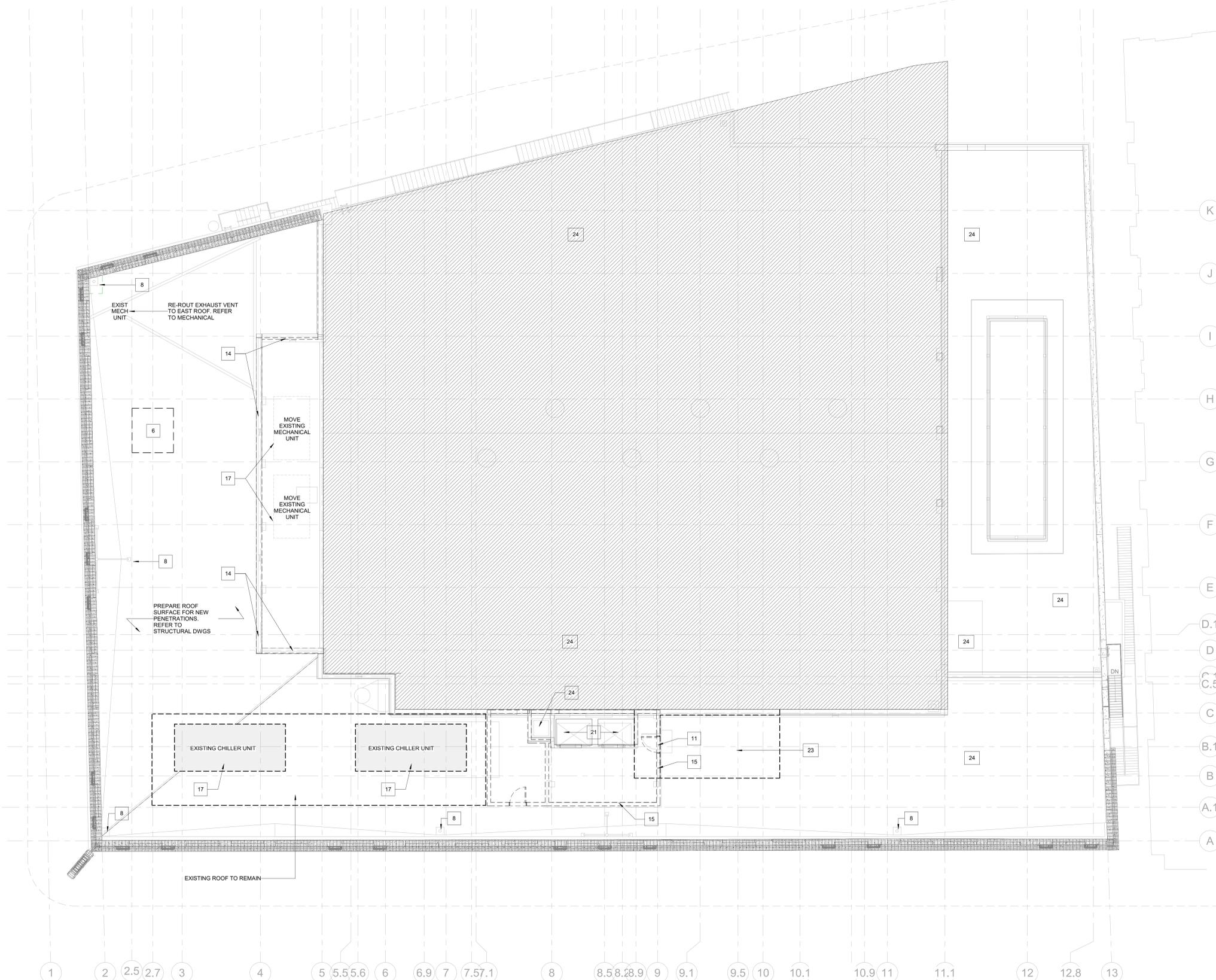
- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE).
- WALL TO BE REMOVED.
- DOOR AND HARDWARE TO BE REMOVED.

DEMOLITION NOTES

1. DEMOLITION WORK INDICATED ON THESE DRAWINGS SHALL NOT EXTEND BEYOND THE LIMITS OF CONSTRUCTION INDICATED.
2. IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT PROCEED WITH DEMOLITION. IMMEDIATELY CONTACT OWNER, ARCHITECT, AND/OR CONSTRUCTION MANAGER.
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7. EXISTING WALLS OR PORTIONS OF WALLS TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN.
8. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
9. DOORS NOT TAGGED TO REMAIN, U.N.O.

DEMOLITION KEY NOTES

- 1 REMOVE DOOR, HARDWARE, FRAME, CLOSER, HINGES, AND DOOR SIGNAGE. CATALOG AND ARCHIVE MATERIALS.
- 2 CONFIRM DEMOLITION EXTENTS WITH BUILDING OWNER BEFORE PROCEEDING AT THESE LOCATIONS.
- 3 REMOVE PLUMBING FIXTURES, TOILET STALLS, AND COUNTERTOPS TO EXTENTS SHOWN ON DRAWINGS.
- 4 REMOVE EXISTING FLOORING AS INDICATED ON DRAWINGS. PREPARE EXISTING FLOOR FOR NEW FLOORING.
- 5 PREPARE LIGHT WELL TO BE FILLED
- 6 DEMO CONCRETE SLAB AND/OR FOUNDATION FOR ELEVATOR.
- 7 PATCH HOLES IN FLOOR AND PREPARE SUB SURFACE FOR NEW FLOOR FINISH
- 8 PREP ROOF PLUMBING FOR MODIFICATIONS.
- 9 REMOVE TILE AND PREPARE WALLS FOR NEW FINISH.
- 10 DEMO RAISED CONCRETE FLOOR/RESURFACE EXISTING FLOOR AND CAP PLUMBING LINES.
- 11 REMOVE DOOR HARDWARE. PREPARE OPENING FOR NEW ACOUSTICAL TREATMENT.
- 12 REMOVE WINDOW. REMOVE WALL PARTITION, ELECTRICAL OUTLETS, THERMOSTATS, ETC. TO PREPARE FOR NEW DOOR.
- 13 REMOVE DOOR, HARDWARE. PREPARE FOR CASSED OPENING.
- 14 REMOVE PARAPET TO LEVEL OF EXISTING ROOF. REFER TO STRUCTURE DWGS.
- 15 REMOVE WALL, PATCH AND PREPARE AREA FOR NEW WORK.
- 16 REMOVE STAIR RUN AND ASSOCIATED LANDING.
- 17 RELOCATE MECHANICAL EQUIPMENT AND ASSOCIATED DUCTS TO MECHANICAL DEMO PLANS.
- 18 REMOVE EXISTING AHU AND PREPARE AREA TO RECEIVE NEW AHU. COORDINATE SEQUENCE WITH BUILDING OPERATIONS. REFER TO MECHANICAL PLANS
- 19 PREP OPENING FOR NEW DOORS.
- 20 PREPARE AREA FOR NEW CONSTRUCTION. CONFIRM SCOPE OF WORK WITH OWNER & ARCHITECT BEFORE PROCEEDING.
- 21 REMOVE EXISTING ELEVATORS. PREPARE ELEVATOR SHAFT FOR NEW CABS, EQUIPMENT, ETC. PENDING ASSESSMENT
- 22 REMOVE ROOFING MATERIALS DOWN TO STRUCTURE. CAP ROOF DRAINS FLUSH WITH FLOOR.
- 23 REMOVE ROOFING AND ROOF STRUCTURE FOR NEW OPENING.
- 24 REFER TO MEP DEMO PLANS FOR PIPING/DUCTS/UNIT RELOCATION AT THIS LOCATION.
- 25 PREPARE STAIR FOR EXTENSION TO ROOFTOP

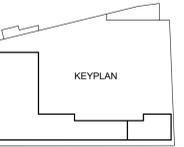


AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description
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FLOOR PLAN - LEVEL 00

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING NOTES

- DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF METAL STUD UNLESS NOTED OTHERWISE. CONFIRM ALL EXISTING COLUMN LOCATIONS IN FIELD AND WITH STRUCTURAL ENGINEER.
- CEMENTITIOUS BOARD TO BE PROVIDED AT ALL TILE WALLS. REFER TO FINISH SCHEDULE AND INTERIOR DESIGN DRAWINGS.
- FOR MATERIAL CALLOUTS, REFER TO OUTLINE SPECIFICATIONS IN PROJECT MANUAL.
- REFER TO INTERIOR DESIGN DRAWINGS FOR FF&E, FINISHES, & MATERIAL/DECORATIVE FIXTURE SCHEDULES.
- TYPICAL PARTITION TO BE G4-1A U.N.O.
- TYPICAL FURRING PARTITION TO BE F-4 U.N.O.
- TYPICAL GYPSUM CEILING IN UNIT TO BE 7'-4" A.F.F. U.N.O.
- EXPOSED EXISTING CONCRETE COLUMNS TO RECEIVE SKIM COAT FOR RESURFACING. PAINT NEW EXPOSED STEEL COLUMNS TO MATCH METAL PANEL AND CIV FRAME FINISH COLOR. CONFIRM COLOR WITH OWNER AND ARCHITECT.
- REFER TO LIFE SAFETY DRAWINGS FOR LIFE SAFETY REQUIREMENTS.

GENERAL DRAWING LEGEND

- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE)

FLOOR PLAN KEY NOTES

- PROVIDE FIRE SHUTTER DOORS ABOVE ELEVATOR HOISTWAY OPENING. REFER TO LIFE SAFETY AND DETAILS ON SHEET
- PROVIDE NEW ELEVATOR CABS, SUPPORTS, MECHANISMS AND CONTROLS FOR FULLY FUNCTIONAL ELEVATORS IN EXISTING SHAFTS. COORDINATE WORK WITH SELECTED ELEVATOR SUPPLIER. DETAILS TO BE CONFIRMED WITH SELECTED ELEVATOR MANUFACTURER.
- EXISTING HISTORIC DOOR AND/OR WINDOW ASSEMBLY TO BE MODIFIED IN THE STYLE OF EXISTING HISTORIC SYSTEMS TO INCLUDE NEW CASED OPENING.
- EXISTING HISTORIC DOOR AND/OR WINDOW ASSEMBLY TO BE MODIFIED IN THE STYLE OF EXISTING HISTORIC SYSTEMS TO INCLUDE NEW DOOR.
- EXISTING HISTORIC "ACCESS PANEL OPENING" TO BE MODIFIED ACOUSTICALLY AND ARCHITECTURALLY. REFER TO DETAIL (10/A040).
- NEW DOOR AND/OR WINDOW ASSEMBLY TO BE CONSTRUCTED IN THE STYLE OF EXISTING HISTORIC SYSTEMS.
- EXISTING WINDOW TO BE A 45-MIN RATED PROTECTED OPENING. PROVIDE ROLL DOWN FIRE SHUTTERS AT NOTED WINDOW LOCATIONS
- EXISTING WINDOW TO BE REMOVED AND THRESHOLD CUT TO FINISH FLOOR ELEVATION. NEW OPENING TO BE A 90-MIN RATED HM DOOR
- EXISTING WINDOW TO BE SPRINKLED WITHIN 10' AREA ADJACENT TO EXTERIOR FIRE ESCAPE AND TO INCLUDE 3/8" TEMPERED GLASS LITE AT INTERIOR.
- EXISTING EXTERIOR WALL TO BE 2-HR RATED WHERE ADJACENT TO EXTERIOR STAIR. VERIFY IN FIELD EXISTING MASONRY AND PLASTER WALL ASSEMBLY.
- EXISTING EXTERIOR WALL TO BE 1-HR RATED WITHIN 10' OF EXTERIOR STAIR. VERIFY IN FIELD EXISTING MASONRY AND PLASTER WALL ASSEMBLY.
- MODIFY DOOR HARDWARE, HINGE, ETC. SO THAT LEAF SWINGS AS INDICATED.
- SEAL DOOR AT THIS LOCATION, PROVIDE RATED BARRIER.
- PROVIDE PAINTED MTL. FRAME AND PERFORATED PANEL OVER EXISTING WINDOW WHERE ADJACENT TO STAIR AS NOTED
- EXISTING PARTITION TO BE TESTED AND MODIFIED AS NECESSARY TO BE 2-HR RATED. REFER TO LIFE SAFETY PLANS.
- EXISTING STAIR ASSEMBLY TO BE TESTED AND MODIFIED AS NECESSARY TO BE 2-HR RATED. REFER TO LIFE SAFETY PLANS.
- ROOF ACCESS LADDER AT THIS LOCATION.
- PROVIDE RATED SEPARATION AT EXISTING VERTICAL PENETRATIONS. REFER TO LIFE SAFETY PLANS.
- HISTORIC DOORS TO BE REFURBISHED PER SPEC SECTION 08 0314
- BNB SUPPORT EQUIPMENT AT THIS LOCATION.

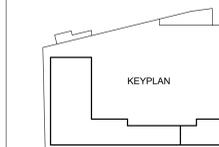


01 FLOOR PLAN LEVEL 00 - RIVER LEVEL
1/8" = 1'-0"

AZTEC HOTEL
201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description
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FLOOR PLAN - LEVEL 01

PHASE II
ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING NOTES

- DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF METAL STUD UNLESS NOTED OTHERWISE. CONFIRM ALL EXISTING COLUMN LOCATIONS IN FIELD AND WITH STRUCTURAL ENGINEER.
- CEMENTITIOUS BOARD TO BE PROVIDED AT ALL TILE WALLS; REFER TO FINISH SCHEDULE AND INTERIOR DESIGN DRAWINGS.
- FOR MATERIAL CALLOUTS, REFER TO OUTLINE SPECIFICATIONS IN PROJECT MANUAL.
- REFER TO INTERIOR DESIGN DRAWINGS FOR FF&E, FINISHES, & MATERIAL/DECORATIVE FIXTURE SCHEDULES.
- TYPICAL PARTITION TO BE G-1/4 U.N.O.
- TYPICAL FURRING PARTITION TO BE F-4 U.N.O.
- TYPICAL GYPSUM CEILING IN UNIT TO BE 7'-4" A.F.F. U.N.O.
- EXPOSED EXISTING CONCRETE COLUMNS TO RECEIVE SKIM COAT FOR RESURFACING. PAINT NEW EXPOSED STEEL COLUMNS TO MATCH METAL PANEL AND CW FRAME FINISH COLOR. CONFIRM COLOR WITH OWNER AND ARCHITECT.
- REFER TO LIFE SAFETY DRAWINGS FOR LIFE SAFETY REQUIREMENTS.

GENERAL DRAWING LEGEND

- HATCH INDICATES AREAS NOT IN SCOPE OR AREAS DESIGNATED AS HISTORIC TO REMAIN.
- HATCH INDICATES AREAS IN PHASE I (NOT IN SCOPE).
- HATCH INDICATES EXISTING WALLS OR COLUMNS.
- HATCH INDICATES AREAS IN PHASE II (HOTEL SCOPE).

FLOOR PLAN KEY NOTES

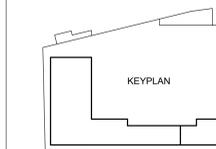
- PROVIDE FIRE SHUTTER DOORS ABOVE ELEVATOR HOISTWAY OPENING. REFER TO LIFE SAFETY AND DETAILS ON SHEET.
- PROVIDE NEW ELEVATOR CABS, SUPPORTS, MECHANISMS AND CONTROLS FOR FULLY FUNCTIONAL ELEVATORS IN EXISTING SHAFTS. COORDINATE WORK WITH SELECTED ELEVATOR SUPPLIER. DETAILS TO BE CONFIRMED WITH SELECTED ELEVATOR MANUFACTURER.
- EXISTING HISTORIC DOOR AND/OR WINDOW ASSEMBLY TO BE MODIFIED IN THE STYLE OF EXISTING HISTORIC SYSTEMS TO INCLUDE NEW CASING OPENING.
- EXISTING HISTORIC DOOR AND/OR WINDOW ASSEMBLY TO BE MODIFIED IN THE STYLE OF EXISTING HISTORIC SYSTEMS TO INCLUDE NEW DOOR.
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- EXISTING WINDOW TO BE A 45-MIN RATED PROTECTED OPENING. PROVIDE ROLL DOWN FIRE SHUTTERS AT NOTED WINDOW LOCATIONS.
- EXISTING WINDOW TO BE REMOVED AND THRESHOLD CUT TO FINISH FLOOR ELEVATION. NEW OPENING TO BE A 90-MIN RATED HM DOOR.
- EXISTING WINDOW TO BE SPRINKLED WITHIN 10' AREA ADJACENT TO EXTERIOR FIRE ESCAPE AND TO INCLUDE 3/8" TEMPERED GLASS LITE AT INTERIOR.
- EXISTING EXTERIOR WALL TO BE 2-HR RATED WHERE ADJACENT TO EXTERIOR STAIR. VERIFY IN FIELD EXISTING MASONRY AND PLASTER WALL ASSEMBLY.
- EXISTING EXTERIOR WALL TO BE 1-HR RATED WITHIN 10' OF EXTERIOR STAIR. VERIFY IN FIELD EXISTING MASONRY AND PLASTER WALL ASSEMBLY.
- MODIFY DOOR HARDWARE, HINGE, ETC. SO THAT LEAF SWINGS AS INDICATED.
- SEAL DOOR AT THIS LOCATION, PROVIDE RATED BARRIER.
- PROVIDE PAINTED MTL. FRAME AND PERFORATED PANEL OVER EXISTING WINDOW WHERE ADJACENT TO STAIR AS NOTED.
- EXISTING PARTITION TO BE TESTED AND MODIFIED AS NECESSARY TO BE 2-HR RATED. REFER TO LIFE SAFETY PLANS.
- EXISTING STAIR ASSEMBLY TO BE TESTED AND MODIFIED AS NECESSARY TO BE 2-HR RATED. REFER TO LIFE SAFETY PLANS.
- ROOF ACCESS LADDER AT THIS LOCATION.
- PROVIDE RATED SEPARATION AT EXISTING VERTICAL PENETRATIONS. REFER TO LIFE SAFETY PLANS.
- HISTORIC DOORS TO BE REFURBISHED PER SPEC SECTION 08 0314.
- BNB SUPPORT EQUIPMENT AT THIS LOCATION.



01 FLOOR PLAN LEVEL 01 - STREET LEVEL
1/8" = 1'-0"



No.	Date	Description
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FLOOR PLAN - LEVEL 02

PHASE II
ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

GENERAL DRAWING NOTES

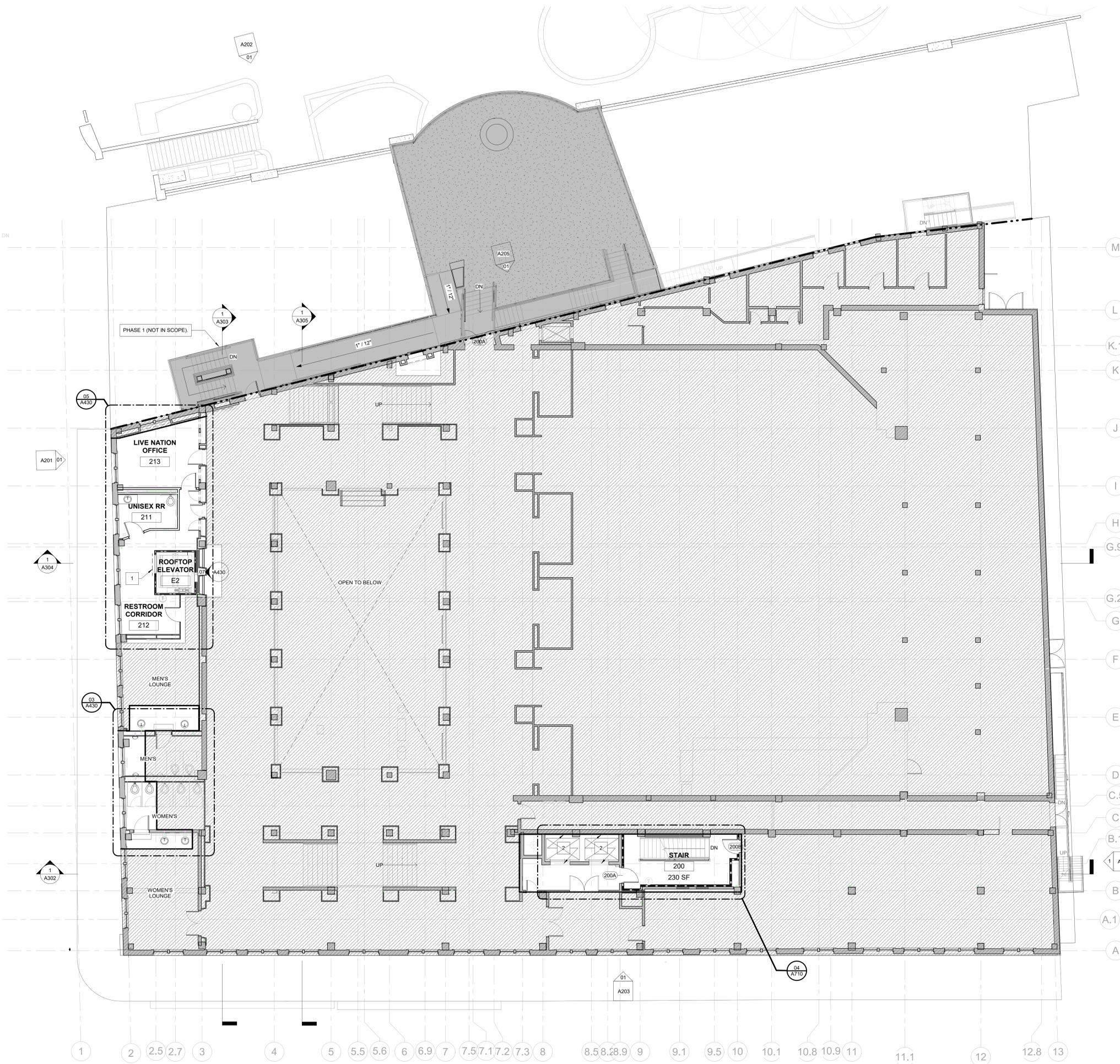
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- CEMENTITIOUS BOARD TO BE PROVIDED AT ALL TILE WALLS; REFER TO FINISH SCHEDULE AND INTERIOR DESIGN DRAWINGS.
- FOR MATERIAL CALLOUTS, REFER TO OUTLINE SPECIFICATIONS IN PROJECT MANUAL.
- REFER TO INTERIOR DESIGN DRAWINGS FOR FF&E, FINISHES, & MATERIAL/DECORATIVE FIXTURE SCHEDULES.
- TYPICAL PARTITION TO BE G4-1A U.N.O
- TYPICAL FURRING PARTITION TO BE F-4 U.N.O
- TYPICAL GYPSUM CEILING IN UNIT TO BE 7'-4" A.F.F. U.N.O.
- EXPOSED EXISTING CONCRETE COLUMNS TO RECEIVE SKIM COAT FOR RESURFACING. PAINT NEW EXPOSED STEEL COLUMNS TO MATCH METAL PANEL AND CW FRAME FINISH COLOR. CONFIRM COLOR WITH OWNER AND ARCHITECT
- REFER TO LIFE SAFETY DRAWINGS FOR LIFE SAFETY REQUIREMENTS.

GENERAL DRAWING LEGEND

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FLOOR PLAN KEY NOTES

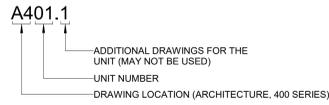
- PROVIDE FIRE SHUTTER DOORS ABOVE ELEVATOR HOISTWAY OPENING. REFER TO LIFE SAFETY AND DETAILS ON SHEET
- PROVIDE NEW ELEVATOR CABS, SUPPORTS, MECHANISMS AND CONTROLS FOR FULLY FUNCTIONAL ELEVATORS IN EXISTING SHAFTS. COORDINATE WORK WITH SELECTED ELEVATOR SUPPLIER. DETAILS TO BE CONFIRMED WITH SELECTED ELEVATOR MANUFACTURER.
- EXISTING HISTORIC DOOR AND/OR WINDOW ASSEMBLY TO BE MODIFIED IN THE STYLE OF EXISTING HISTORIC SYSTEMS TO INCLUDE NEW CASING OPENING.
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- EXISTING HISTORIC "ACCESS PANEL OPENING" TO BE MODIFIED ACOUSTICALLY AND ARCHITECTURALLY. REFER TO DETAIL (10/A040).
- NEW DOOR AND/OR WINDOW ASSEMBLY TO BE CONSTRUCTED IN THE STYLE OF EXISTING HISTORIC SYSTEMS.
- EXISTING WINDOW TO BE A 45-MIN RATED PROTECTED OPENING. PROVIDE ROLL DOWN FIRE SHUTTERS AT NOTED WINDOW LOCATIONS
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- MODIFY DOOR HARDWARE, HINGE, ETC. SO THAT LEAF SWINGS AS INDICATED.
- SEAL DOOR AT THIS LOCATION, PROVIDE RATED BARRIER.
- PROVIDE PAINTED MTL. FRAME AND PERFORATED PANEL OVER EXISTING WINDOW WHERE ADJACENT TO STAIR AS NOTED
- EXISTING PARTITION TO BE TESTED AND MODIFIED AS NECESSARY TO BE 2-HR RATED. REFER TO LIFE SAFETY PLANS.
- EXISTING STAIR ASSEMBLY TO BE TESTED AND MODIFIED AS NECESSARY TO BE 2-HR RATED. REFER TO LIFE SAFETY PLANS.
- ROOF ACCESS LADDER AT THIS LOCATION.
- PROVIDE RATED SEPARATION AT EXISTING VERTICAL PENETRATIONS. REFER TO LIFE SAFETY PLANS.
- HISTORIC DOORS TO BE REFURBISHED PER SPEC SECTION 08 0314
- BNB SUPPORT EQUIPMENT AT THIS LOCATION.



01 FLOOR PLAN LEVEL 02
1/8" = 1'-0"

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FOR LEVEL 06 CEILING SYSTEMS REFER TO A126 OVERALL RCP

GENERAL DRAWING NOTES

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- CEMENTITIOUS BOARD TO BE PROVIDED AT ALL TILE WALLS; REFER TO FINISH SCHEDULE AND INTERIOR DESIGN DRAWINGS.
- FOR MATERIAL CALLOUTS, REFER TO OUTLINE SPECIFICATIONS IN PROJECT MANUAL.
- REFER TO INTERIOR DESIGN DRAWINGS FOR FF&E, FINISHES, & MATERIAL/DECORATIVE FIXTURE SCHEDULES.
- TYPICAL PARTITION TO BE G4-1A U.N.O
- TYPICAL FURRING PARTITION TO BE F-4 U.N.O
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- EXPOSED EXISTING CONCRETE COLUMNS TO RECEIVE SKIM COAT FOR RESURFACING. PAINT NEW EXPOSED STEEL COLUMNS TO MATCH METAL PANEL AND CW FRAME FINISH COLOR. CONFIRM COLOR WITH OWNER AND ARCHITECT
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GENERAL DRAWING LEGEND

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- HISTORIC DOORS TO BE REFURBISHED PER SPEC SECTION 08 0314
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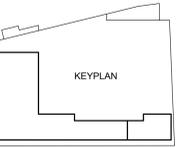
Acoustics
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201 EAST COMMERCE, SAN ANTONIO, TX, 78205



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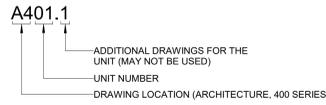
FLOOR PLAN - LEVEL 03

PHASE II ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

UNIT DRAWINGS LEGEND:

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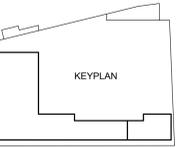
Acoustics
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AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description
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FLOOR PLAN - LEVEL 04

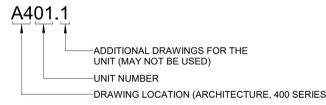
PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

UNIT DRAWINGS LEGEND:

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GENERAL DRAWING NOTES

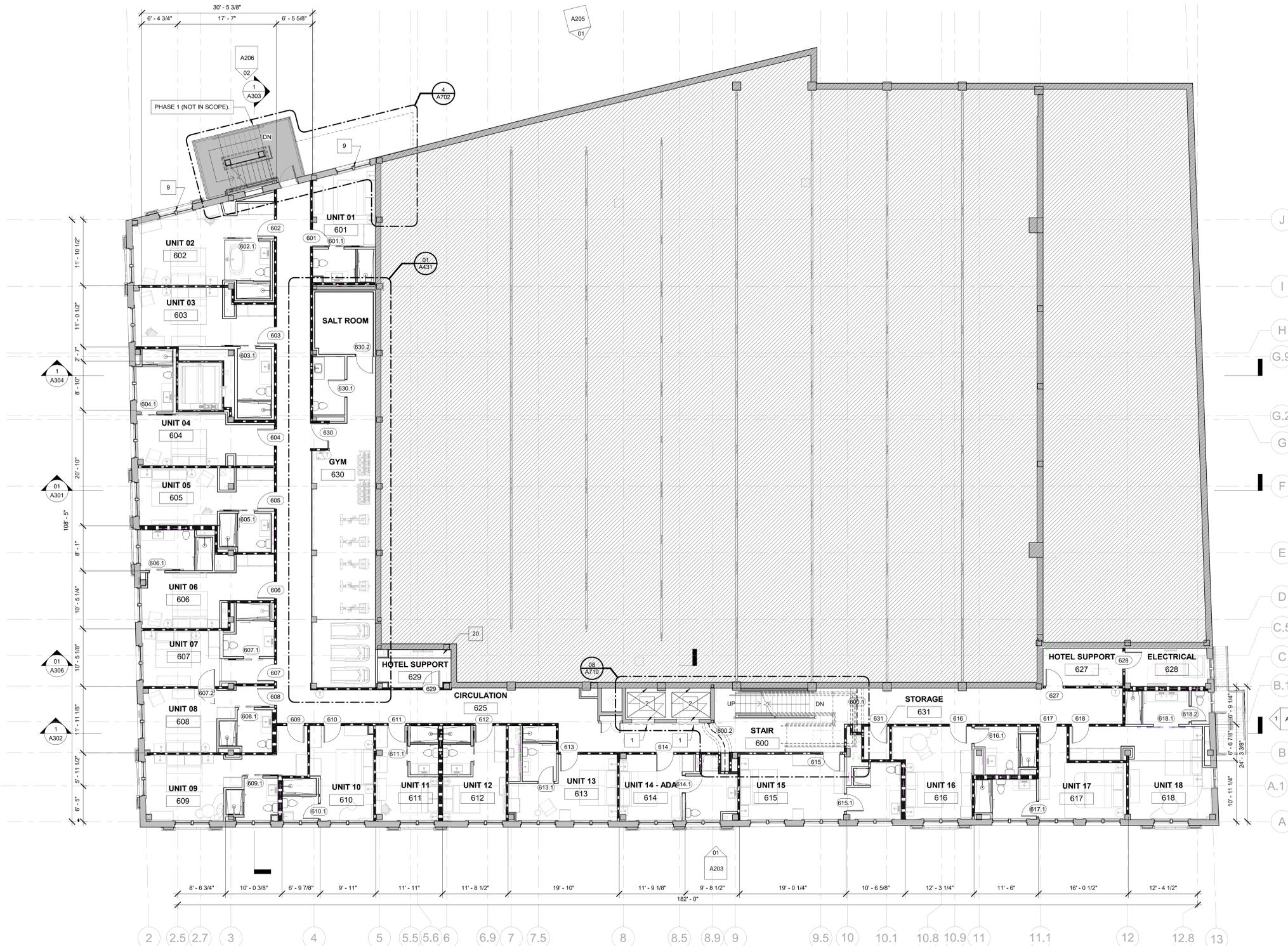
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FLOOR PLAN KEY NOTES

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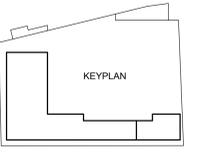
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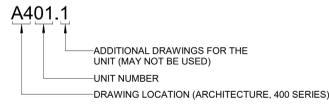
FLOOR PLAN - LEVEL 06

PHASE II ISSUE FOR PERMIT

Project number 22-002
Date 08/19/2022
Drawn by OY
Checked by MM

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TEL (210) 546-0200

Code Consultant
Fire Protection Consulting Group
338 Sandalwood Lane
San Antonio, TX 78216
TEL (210) 858-2389

Interior Design
Duncan & Miller
1203 Dragon Street
Dallas, TX 75207
TEL (214) 748-9944

Historic Preservation Architect
Seventh Generation Design Inc.
933 North Flores Street, Suite B,
San Antonio, TX 78212
TEL (210) 973.7307

Kitchen & Bar Consultant
The Kitchen Guys
7713 Islander Drive
Austin, TX 78749
TEL (512) 998-9100

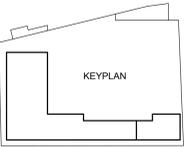
Acoustics
BAI LLC
4006 Speedway
Austin, TX 78751
TEL (512) 476-3464

AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description
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FLOOR PLAN - LEVEL 07

PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

203 E. Jones Ave., Suite 104
San Antonio, Texas 78215
TEL (210) 829-7003

Structural Engineer
Lundy & Franke Engineering Inc
549 Heimer Rd.
San Antonio, TX 78232
TEL (210) 979-7900

Mechanical, Electrical, and Plumbing Engineer
DBR
9601 McAllister Fwy #410
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Acoustics
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Austin, TX 78751
TEL (512) 476-3464

ELEVATION MATERIAL NOTES

1. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF MATERIAL UNLESS NOTED OTHERWISE.

2. REFER TO ID SERIES SHEETS / PROJECT MANUAL FOR INTERIOR FINISH SELECTIONS.

-  EXT-M BRICK MASONRY
-  STANDING SEAM METAL
-  GL-1 CLEAR GLAZING
-  GL-2 CLEAR GLAZING WITH APPLIED FILM

ELEVATION KEYNOTES

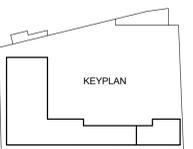
- 1 PROVIDE MASONRY CLEANING FOR HISTORIC BRICK AND CAST STONE FACADES. REFER TO SPEC SECTION 04 0310
- 2 PROVIDE CLEANING AND REPOINTING TO HISTORIC EXTERIOR TILE. REFER TO SPEC SECTION 09 3010
- 3 PROVIDE CLEANING AND REFURBISHMENT TO HISTORIC TERRA COTTA PARAPET CAP. REFER TO SPEC SECTION 04 0310
- 4 REFURBISH HISTORIC WINDOWS AND PAINT TRIM AS REQUIRED. REFER TO SPEC SECTION 08 0352
- 5 PROVIDE LOAD TESTING FOR EXISTING FIRE ESCAPES AS REQUIRED BY CITY OF SAN ANTONIO. PROVIDE NEW PAINTED FINISH TO FIRE ESCAPES AS REQUIRED

AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description
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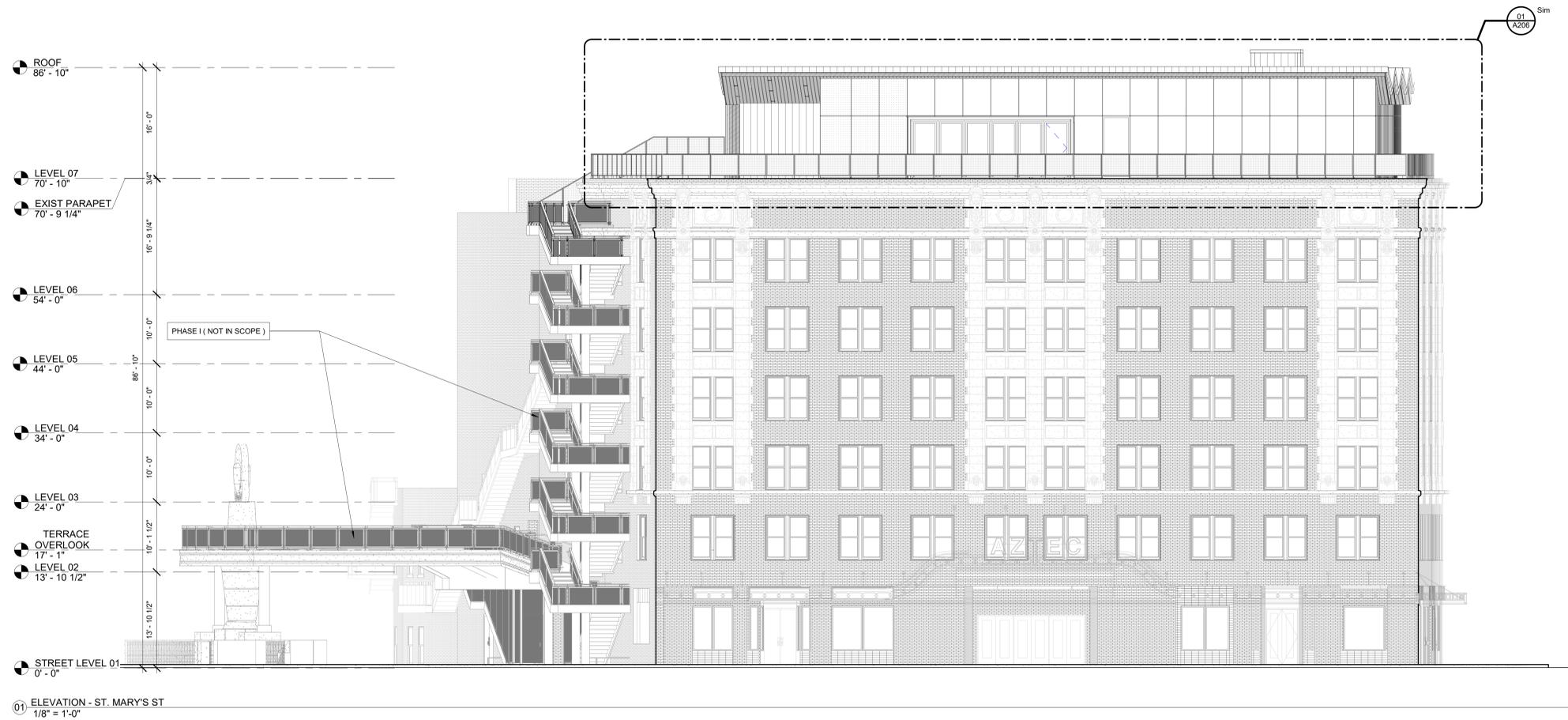


EXTERIOR ELEVATIONS

PHASE II

ISSUE FOR PERMIT

Project number	22-002
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Drawn by	OY
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01 ELEVATION - ST. MARY'S ST
1/8" = 1'-0"

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TEL (210) 829-7003

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Austin, TX 78751
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 EXT-M BRICK MASONRY

 STANDING SEAM METAL

 GL-1 CLEAR GLAZING

 GL-2 CLEAR GLAZING WITH APPLIED FILM

ELEVATION KEYNOTES

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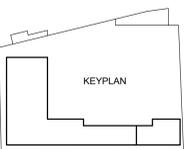
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AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205

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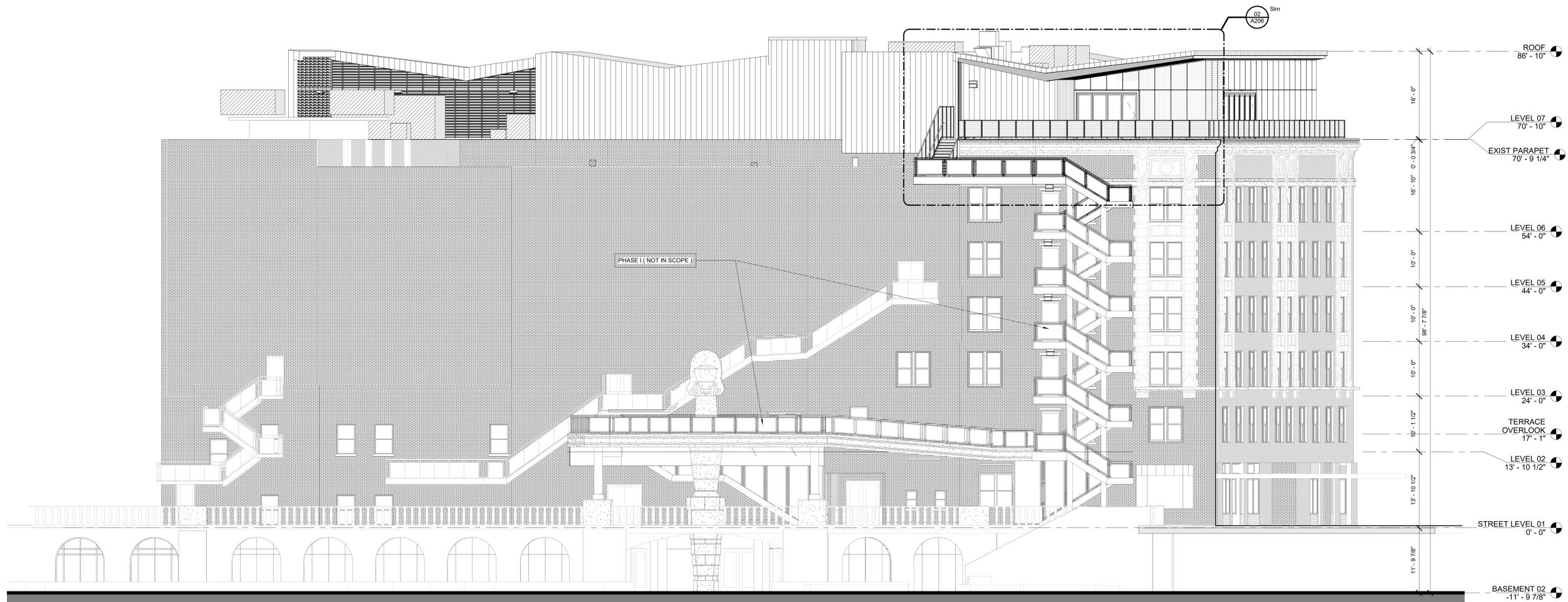
EXTERIOR ELEVATIONS

PHASE II

ISSUE FOR PERMIT

Project number 22-002
Date 08/19/2022
Drawn by OY
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A202



01 ELEVATION - CROCKETT ST.
1/8" = 1'-0"

203 E. Jones Ave., Suite 104
San Antonio, Texas 78215
TEL (210) 829-7003

Structural Engineer
Lundy & Franke Engineering Inc
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Mechanical, Electrical, and Plumbing Engineer
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4008 Speedway
Austin, TX 78751
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 EXT-M BRICK MASONRY

 STANDING SEAM METAL

 GL-1 CLEAR GLAZING

 GL-2 CLEAR GLAZING WITH APPLIED FILM

ELEVATION KEYNOTES

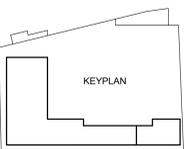
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AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description

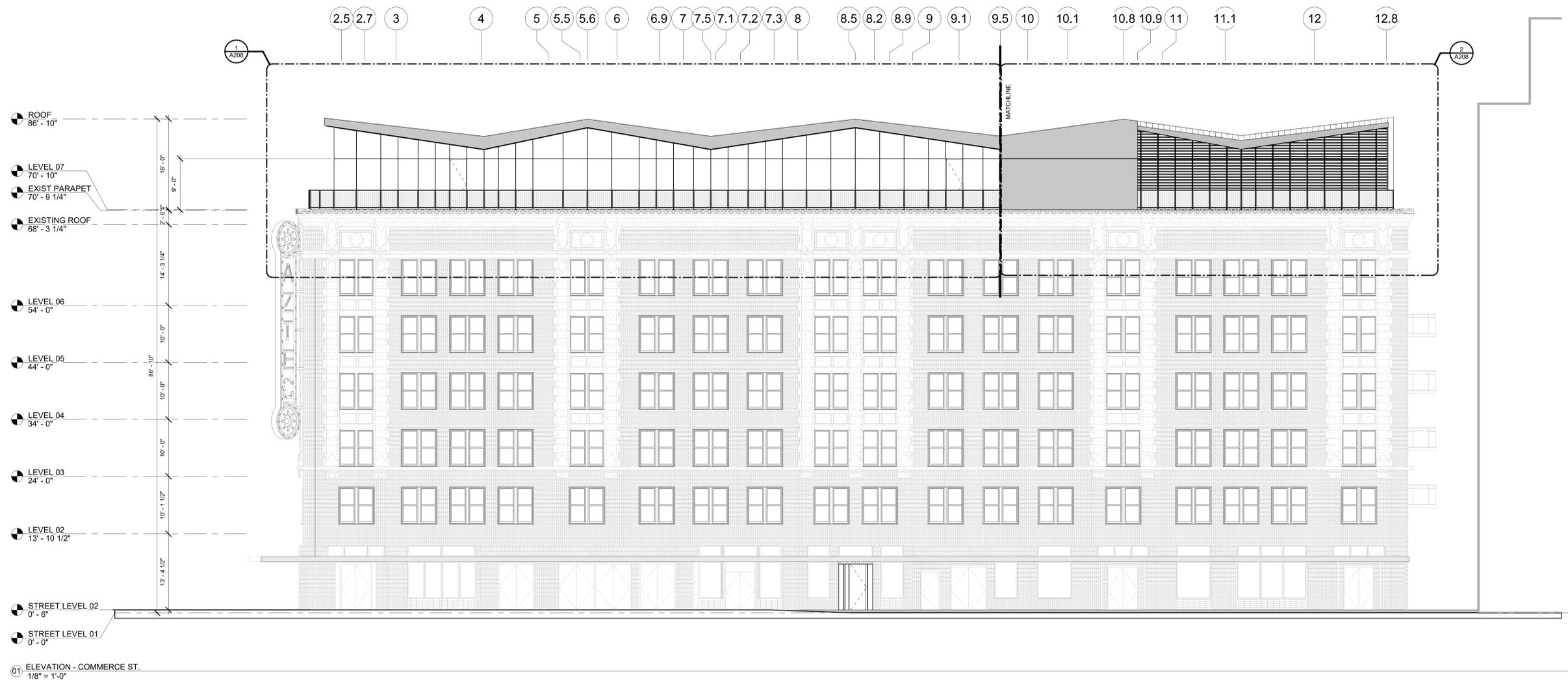


EXTERIOR ELEVATIONS

PHASE II

ISSUE FOR PERMIT

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ELEVATION MATERIAL NOTES

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-  GL-2 CLEAR GLAZING WITH APPLIED FILM

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OVERLAND

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 San Antonio, Texas 78215
 TEL (210) 829-7003

Structural Engineer
 Lundy & Franke Engineering Inc
 549 Heimer Rd.
 San Antonio, TX 78232
 TEL (210) 979-7900

Mechanical, Electrical, and Plumbing Engineer
 DSR
 9601 McAllister Fwy #410
 San Antonio, TX 78216
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 338 Sandalwood Lane
 San Antonio, TX 78216
 TEL (210) 858-2389

Interior Design
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 1203 Dragon Street
 Dallas, TX 75207
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Historic Preservation Architect
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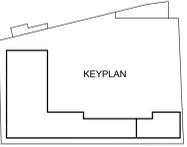
Acoustics
 BAI LLC
 4006 Speedway
 Austin, TX 78751
 TEL (512) 476-3464

AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO,
 TX, 78205



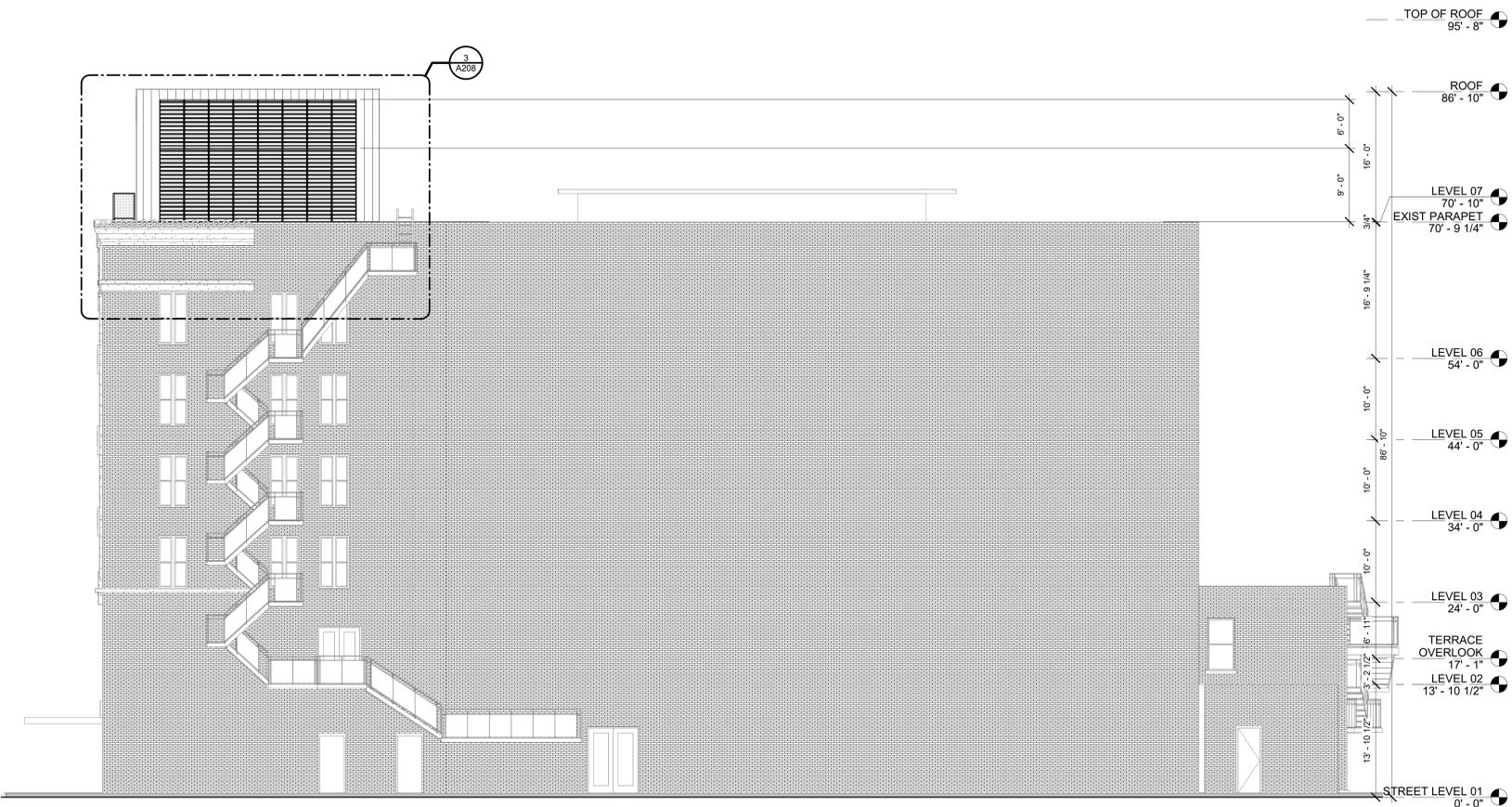
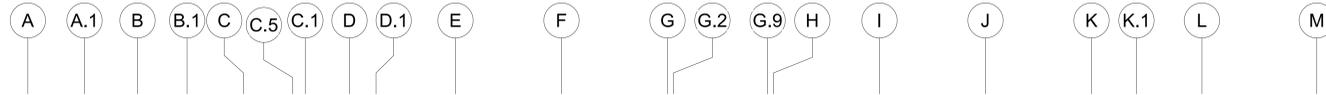
No.	Date	Description
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EXTERIOR ELEVATIONS

**PHASE II
 ISSUE FOR PERMIT**

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM



1 EXTERIOR ELEVATION - EAST LOUVERS
 1/8" = 1'-0"

203 E. Jones Ave., Suite 104
San Antonio, Texas 78215
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Structural Engineer
Lundy & Franke Engineering Inc
549 Heimer Rd.
San Antonio, TX 78222
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Duncan & Miller
1203 Dragon Street
Dallas, TX 75207
TEL (214) 748-5944

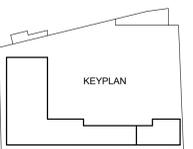
Historic Preservation Architect
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AZTEC HOTEL
201 EAST COMMERCE, SAN ANTONIO,
TX, 78205

No.	Date	Description
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EXTERIOR ELEVATIONS

PHASE II
ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM

A205

ELEVATION MATERIAL NOTES

1. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF MATERIAL UNLESS NOTED OTHERWISE.

2. REFER TO ID SERIES SHEETS / PROJECT MANUAL FOR INTERIOR FINISH SELECTIONS.

EXT-M BRICK MASONRY

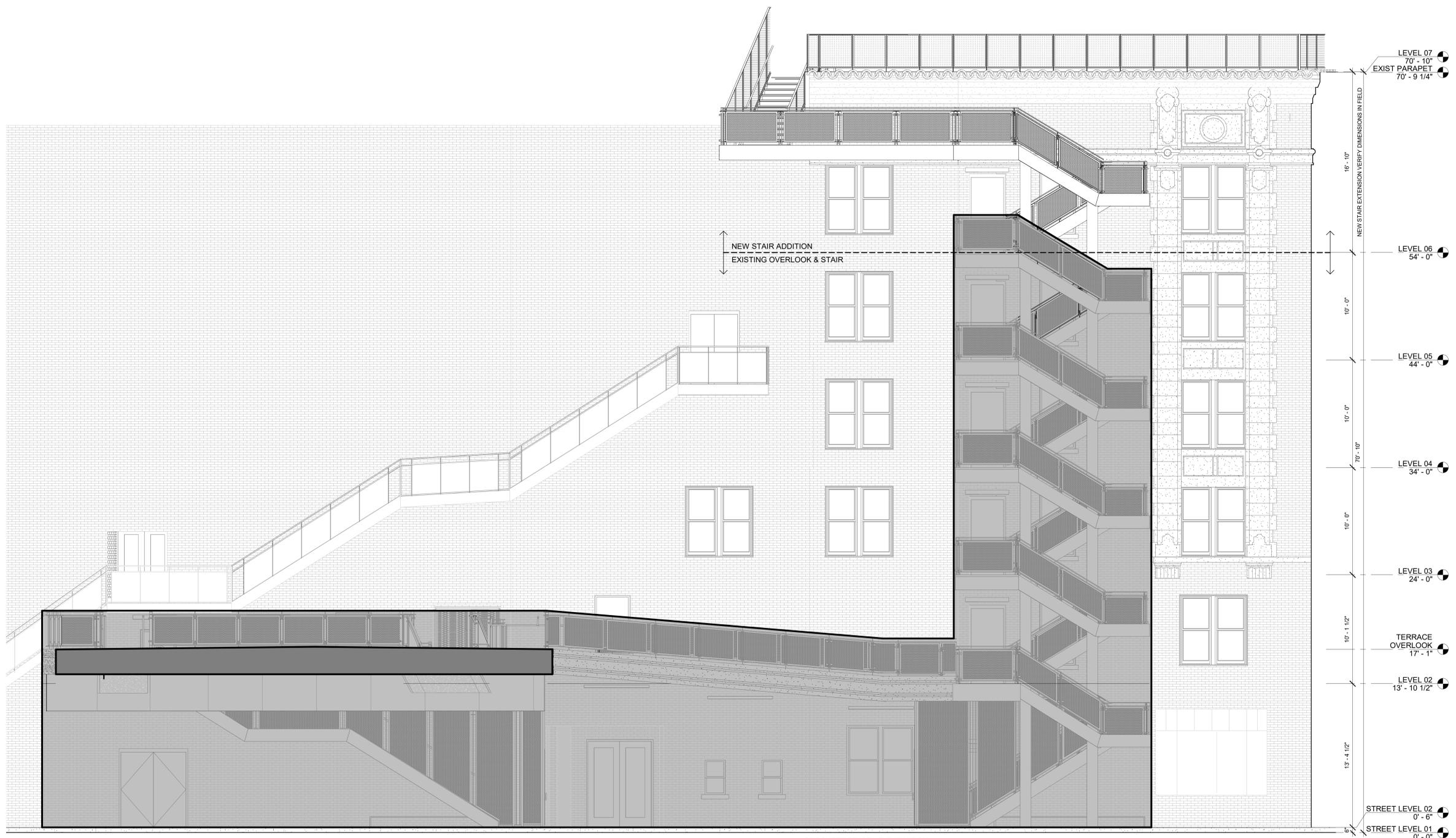
STANDING SEAM METAL

GL-1 CLEAR GLAZING

GL-2 CLEAR GLAZING WITH APPLIED FILM

ELEVATION KEYNOTES

1. PROVIDE MASONRY CLEANING FOR HISTORIC BRICK AND CAST STONE FACADES. REFER TO SPEC SECTION 04 0310
2. PROVIDE CLEANING AND REPOINTING TO HISTORIC EXTERIOR TILE. REFER TO SPEC SECTION 09 3010
3. PROVIDE CLEANING AND REFURBISHMENT TO HISTORIC TERRA COTTA PARAPET CAP. REFER TO SPEC SECTION 04 0310
4. REFURBISH HISTORIC WINDOWS AND PAINT TRIM AS REQUIRED. REFER TO SPEC SECTION 08 0352
5. PROVIDE LOAD TESTING FOR EXISTING FIRE ESCAPES AS REQUIRED BY CITY OF SAN ANTONIO. PROVIDE NEW PAINTED FINISH TO FIRE ESCAPES AS REQUIRED



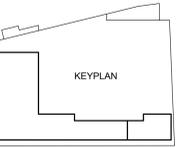
01 CROCKETT ST. STAIR ELEVATION
1/4" = 1'-0"

AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description
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ENLARGED ELEVATIONS - ROOFTOP ADDITION

PHASE II

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Date	08/19/2022
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ELEVATION MATERIAL NOTES

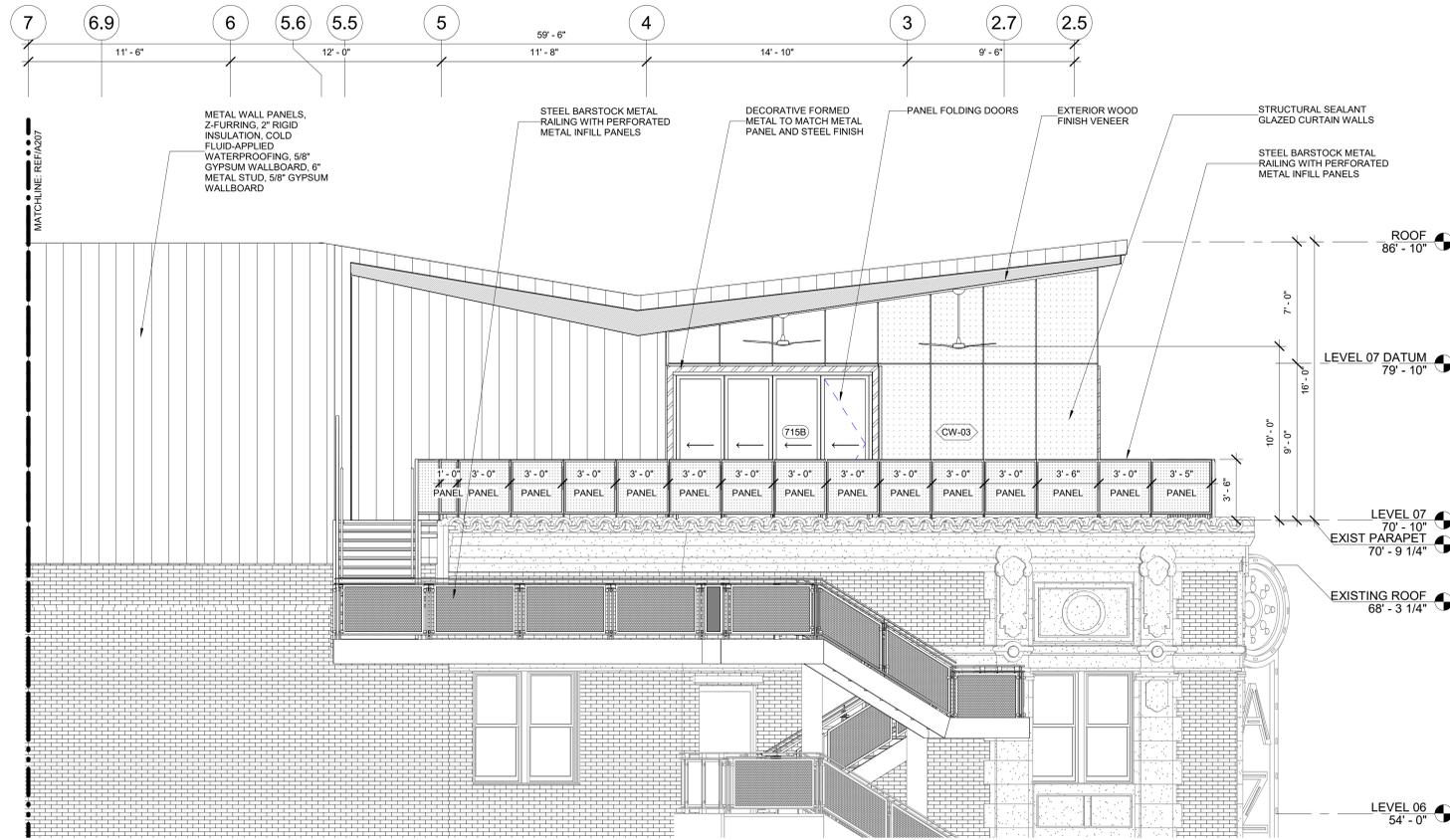
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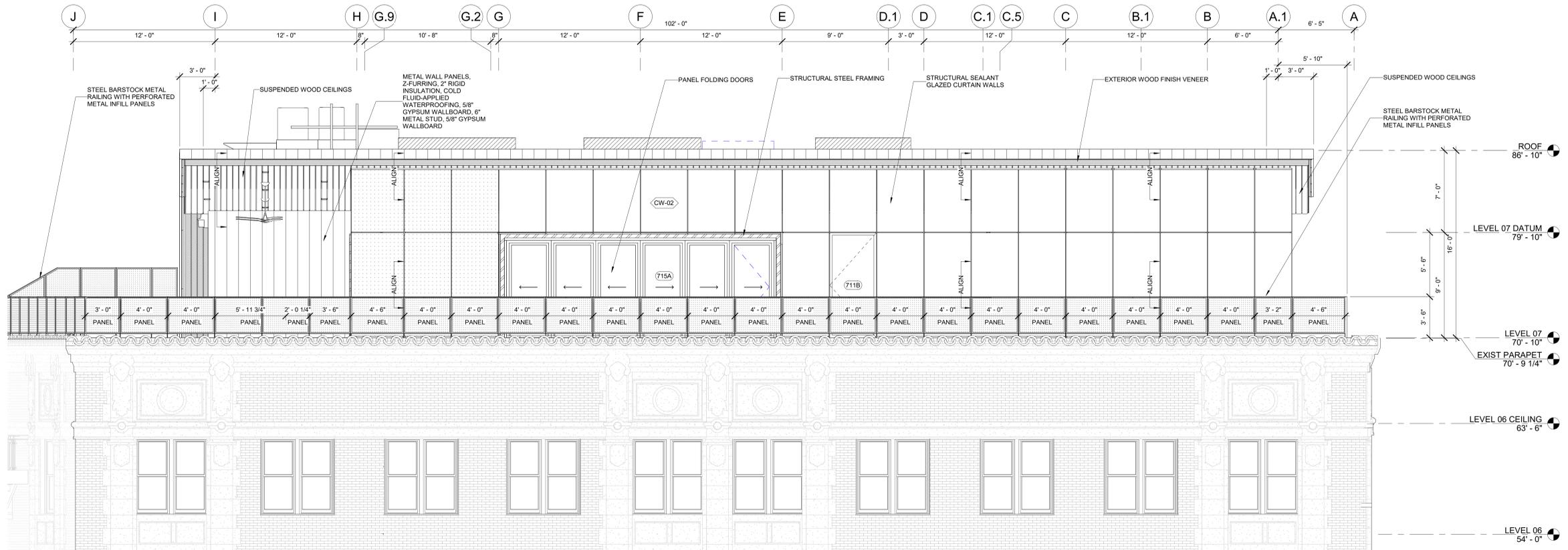
- EXT-M BRICK MASONRY
- STANDING SEAM METAL
- GL-1 CLEAR GLAZING
- GL-2 CLEAR GLAZING WITH APPLIED FILM

ELEVATION KEYNOTES

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02 ENLARGED ELEVATION - NORTH
1/4" = 1'-0"



01 ENLARGED ELEVATION - WEST
1/4" = 1'-0"

ELEVATION MATERIAL NOTES

1. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR FINISH FACE OF MATERIAL UNLESS NOTED OTHERWISE.

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-  EXT-M BRICK MASONRY
-  STANDING SEAM METAL
-  GL-1 CLEAR GLAZING
-  GL-2 CLEAR GLAZING WITH APPLIED FILM

ELEVATION KEYNOTES

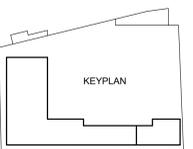
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AZTEC HOTEL

201 EAST COMMERCE, SAN ANTONIO, TX, 78205



No.	Date	Description

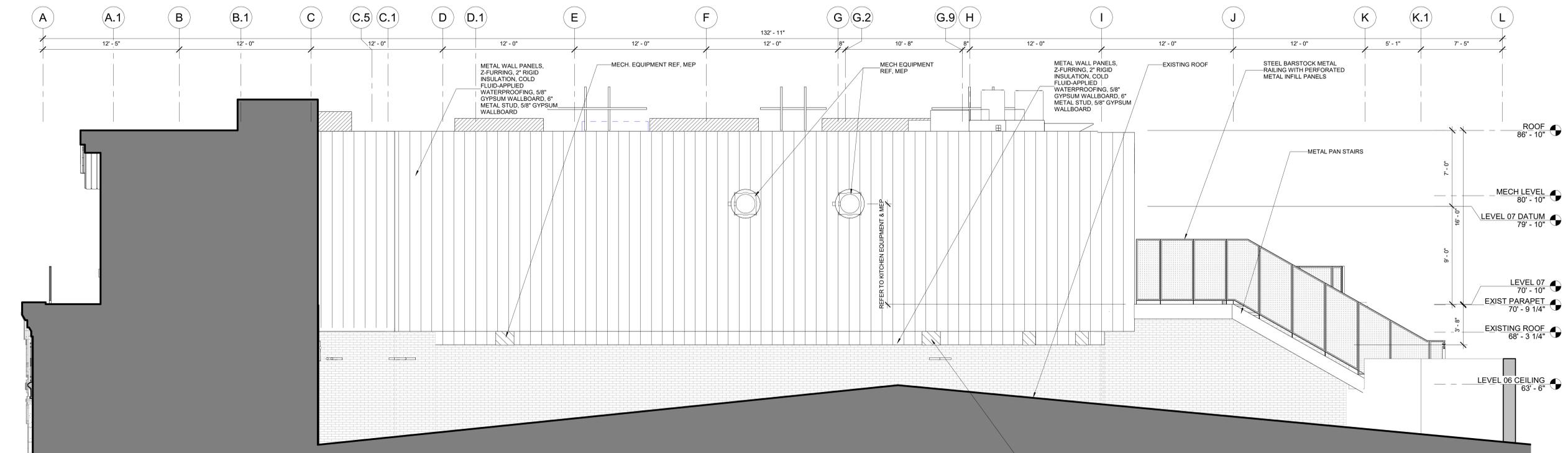


ENLARGED ELEVATIONS - ROOFTOP ADDITION

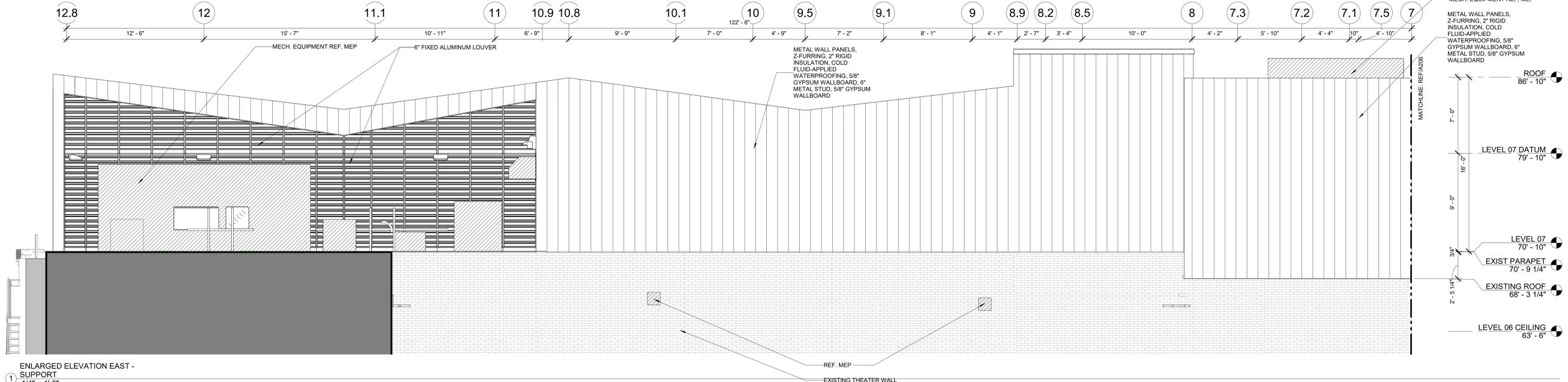
PHASE II

ISSUE FOR PERMIT

Project number	22-002
Date	08/19/2022
Drawn by	OY
Checked by	MM



2 EXTERIOR EAST ELEVATION
1/4" = 1'-0"

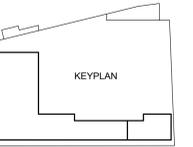


1 ENLARGED ELEVATION EAST - SUPPORT
1/4" = 1'-0"

AZTEC HOTEL
201 EAST COMMERCE, SAN ANTONIO,
TX, 78205



No.	Date	Description



**ENLARGED ELEVATIONS -
ROOFTOP ADDITION**

**PHASE II
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ELEVATION MATERIAL NOTES

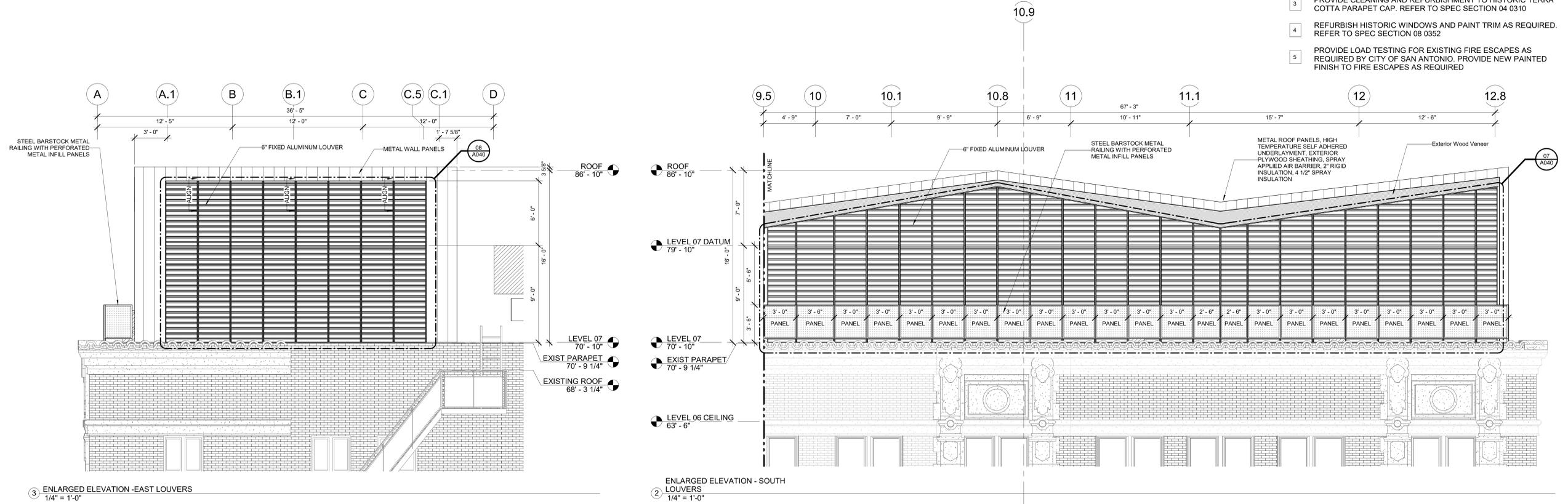
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-  EXT-M BRICK MASONRY
-  STANDING SEAM METAL
-  GL-1 CLEAR GLAZING
-  GL-2 CLEAR GLAZING WITH APPLIED FILM

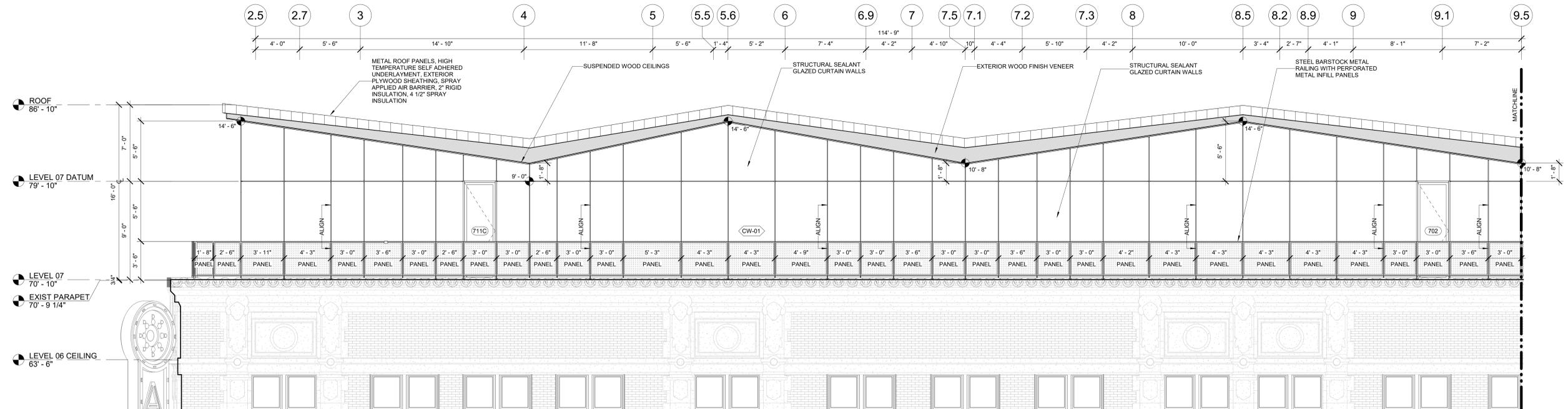
ELEVATION KEYNOTES

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3 ENLARGED ELEVATION - EAST LOUVERS
1/4" = 1'-0"

2 ENLARGED ELEVATION - SOUTH LOUVERS
1/4" = 1'-0"



1 ENLARGED ELEVATION - SOUTH
1/4" = 1'-0"